



May 31, 2022

**Planning Commission
City of Northville, Michigan
Commission Members**

Re: The Downs
Preliminary Landscape and Architecture Submission

Dear Commission Members:

We are very excited to be returning to you at your next Planning Commission meeting to discuss the landscape and architecture for the proposed Downs Development. The package of drawings that follows has been minimized for your handling convenience and is a small sampling of the extensive presentation that will be made at the June 7th meeting. That presentation will be made available to all commission members for their dissemination and review. The design team will eagerly await feedback on the proposed landscape and architecture, and will provide updates and revisions as needed for the final submission.

The information that follows includes:

- Over Project Site Plan including project data
- Letter describing the revisions to the site plan
- Landscape Plans specific to key building areas
- Proposed buildings matrix
- 2-Dimensional Elevations of each building type

We hope this brief description of the information submitted you understand the preliminary direction for the landscape and architecture. We will prepare a full, extensive presentation for the meeting and truly look forward to our discussion and to the potential this project has for the City of Northville!

Sincerely,

A handwritten signature in blue ink, appearing to read 'R. Miller', with a horizontal line extending to the right.

Robert E Miller, aia
Principal

M Architects on behalf of:

**Hunter Pasteur | The Forbes Company | Toll Brothers | Oboran |
Elkus Manfredi Architects | Presley Architecture | Grissim Metz Andriese | Seiber Keast Lehner**

May 31, 2022

Mrs. Sally Elmiger
Principal
Carlisle/Wortman Associates, Inc.

MEMORANDUM: Preliminary Site Plan Layout Revisions

Mrs. Elmiger,

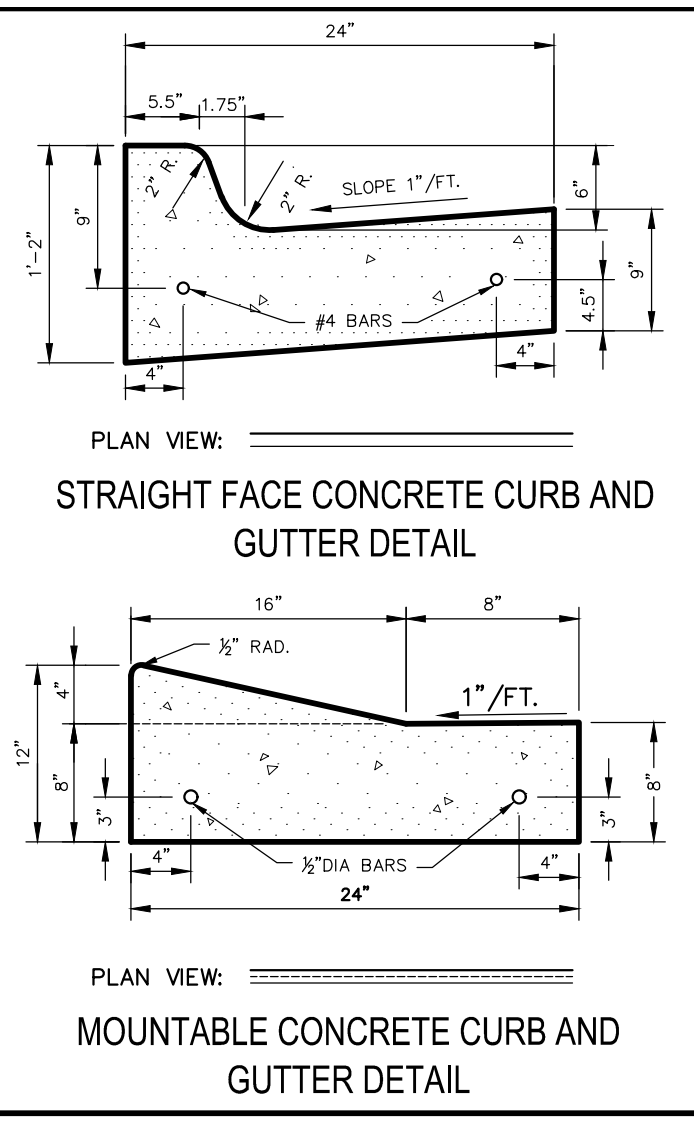
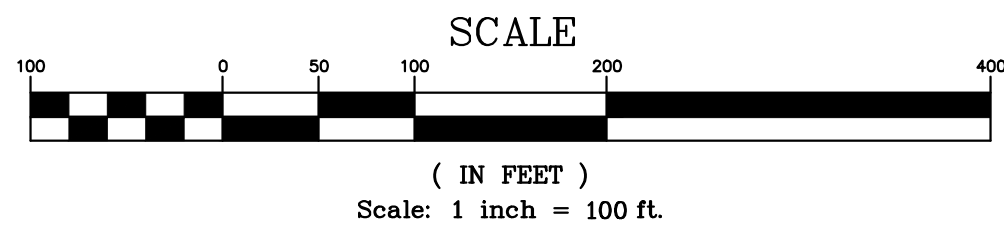
In response to comments during the recent Planning Commission Site Plan Review meetings, we have made several revisions to the Site Plan for the Northville Downs Development. Please see the attached revised Overall Site Plan (Sheet 7 of the PUD Site Plan Set) for review and discussion. The following memorandum discusses the revisions made to the Site Plan:

1. As discussed in the May 17 Planning Commission Meeting, all the Public ROW south of Beal Street is 50 ft wide. The road cross sections have been revised to provide 10' wide drive lanes with shared bike lanes, 7' wide on street parking spaces, a 5' wide greenspace behind the curbs and a 5' wide sidewalk. Adjacent to each ROW line, there is a 5' wide "Easement for Sidewalks and Utilities" provided to allow adequate room in and adjacent to the ROW for public sidewalks and utility installations. 24" Straight Face curbs are provided in all public ROW's as requested.
2. Please note there are still several Private Driveways and Alleyways providing garage access to the units south of Beal Street. These driveways will use 24" Mountable curbs due to the number of drives to units.
3. Additional hardscape has been provided at the Apartment and Condominium buildings along Cady Street. Please see the Landscape Plans for additional details.
4. The Site Summary calculations have been updated accordingly, including revisions to the Parking Calculations.

Seiber Keast Lehner, Inc.

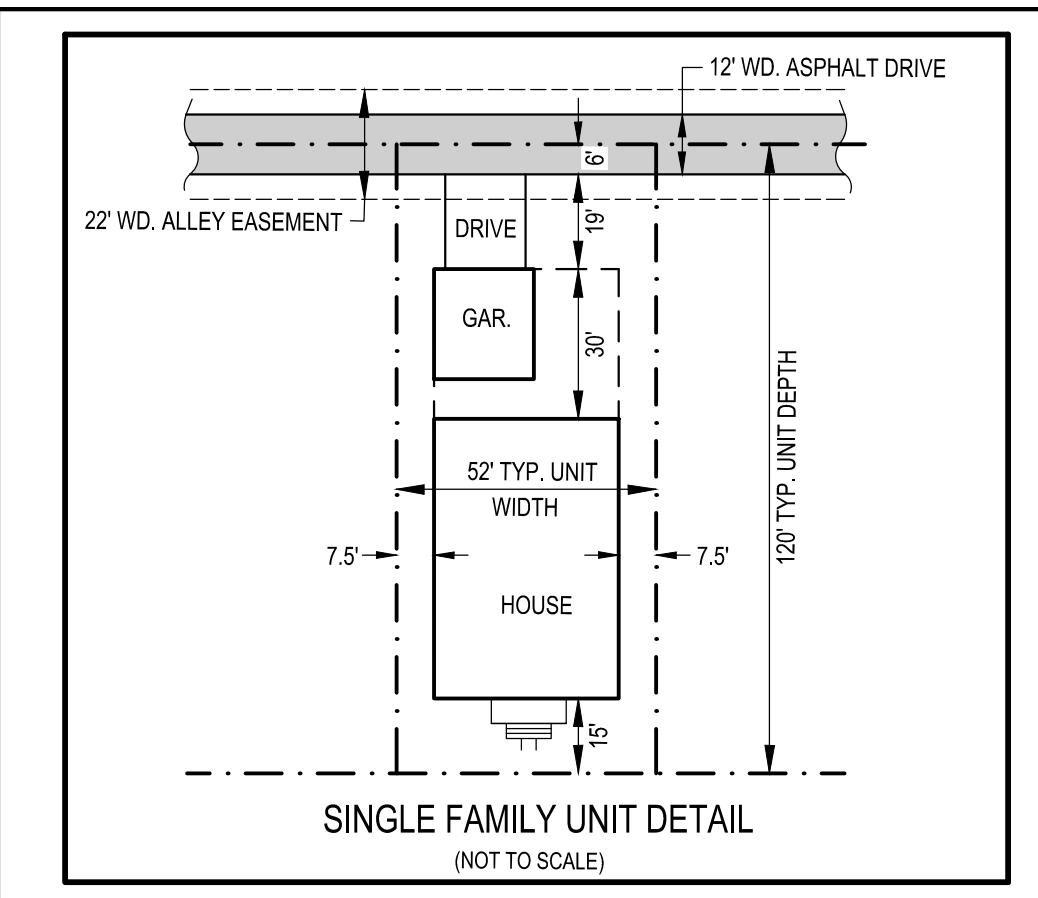
Robert J Emerine, PE



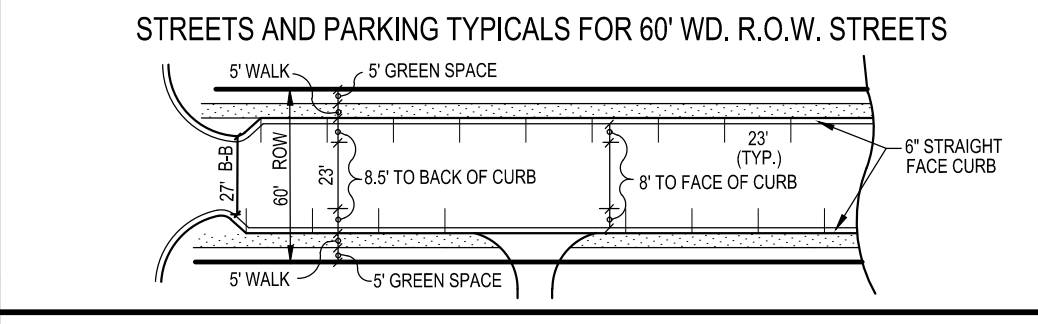
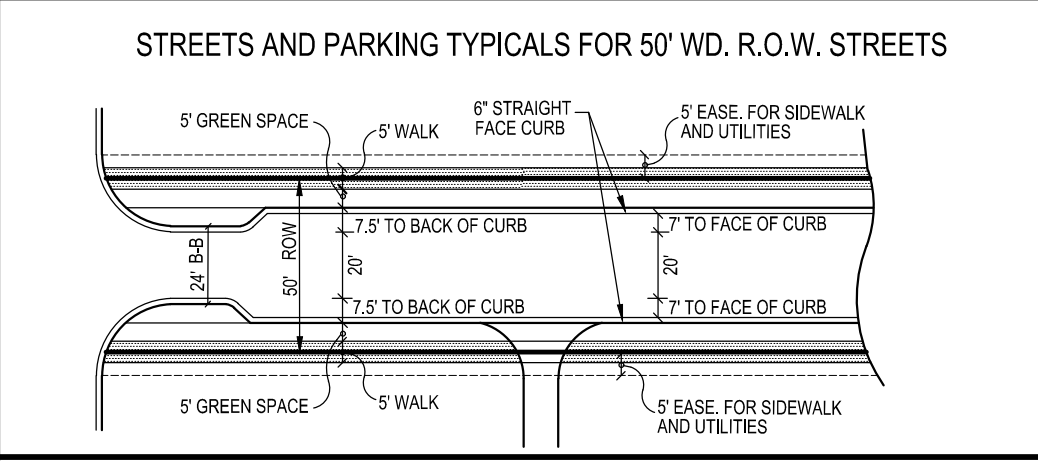
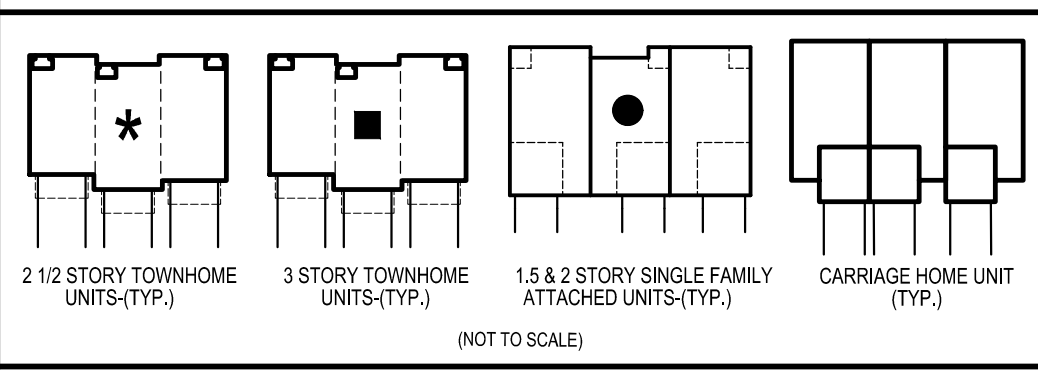


SITE SUMMARY

SITE AREA	= 48.12 AC
LESS PUBLIC R.O.W.	= 6.82 AC
NET SITE AREA	= 41.30 AC
EXISTING ZONING	CBD, RTD, R-2, CSO
PROPOSED ZONING	PUD
DEVELOPMENT BREAKDOWN	
NW APARTMENTS	= 3.36 AC
UNITS SHOWN	= 178 UNITS
DENSITY SHOWN	= 52.98 DU/AC
SETBACKS	
FRONT YARD	= 10' (COMMERCIAL - CSO DISTRICT)
SIDE YARD	= 15' (RESIDENTIAL - CSO DISTRICT)
REAR YARD	N/A
RESIDENTIAL USE	
COMMERCIAL / RETAIL USE	= 205,490 SF
GARAGE AREA	= 11,336 SF
TOTAL BUILDING AREA	= 67,762 SF
OUTDOOR AMENITY TERRACE	= 17,990 SF
NE CONDOMINIUM BUILDING	
UNITS SHOWN	= 42 UNITS
DENSITY SHOWN	= 22.70 DU/AC
SETBACKS	
FRONT YARD	= 10' (COMMERCIAL - CSO DISTRICT)
SIDE YARD	= 15' (RESIDENTIAL - CSO DISTRICT)
REAR YARD	N/A
RESIDENTIAL USE	
COMMERCIAL / RETAIL USE	= 100,512 SF
GARAGE AREA	= 10,280 SF
TOTAL BUILDING AREA	= 7,711 SF
OUTDOOR AMENITY TERRACE	= 131,450 SF
OUTDOOR AMENITY TERRACE	= 6,100 SF
ROW HOUSES	
UNITS SHOWN	= 2.27 AC
DENSITY SHOWN	= 31 UNITS
DENSITY SHOWN	= 13.66 DU/AC
SETBACKS	
FRONT YARD	= 15' (CADY STREET)
BUILDING SEPARATION	= 12'
REAR YARD	N/A
RESIDENTIAL USE	
COMMERCIAL / FLEX USE	= 27,313 SF
GARAGE AREA	= 2,084 GFA
TOWN HOMES / SF ATTACHED	
TOWN HOMES	= 12.12 AC
SF ATTACHED	= 98 UNITS
DENSITY SHOWN	= 31 UNITS
DENSITY SHOWN	= 10.64 DU/AC
SETBACKS	
FRONT YARD	= 10' MIN.
BUILDING SEPARATION	= 20'
REAR YARD	= N/A
CARRIAGE HOMES	
CARRIAGE HOMES	= 3.08 AC
DENSITY SHOWN	= 28 UNITS
DENSITY SHOWN	= 9.09 DU/AC
SETBACKS	
FRONT YARD	= 19'
BUILDING SEPARATION	= 20'
REAR YARD	= N/A
SINGLE FAMILY HOMES	
LOTS SHOWN	= 6.97 AC
DENSITY SHOWN	= 38 UNITS
DENSITY SHOWN	= 5.45 LOTS/AC
SETBACKS	
FRONT YARD	= 15'
SIDE YARD	= 7.5' (15' TOTAL)
REAR YARD	= 19' (FROM ALLEY)
TOTAL RESIDENTIAL	
TOTAL OVERALL NET DENSITY	= 446 UNITS
TOTAL OVERALL GROSS DENSITY	= 10.80 UNITS/AC
TOTAL OVERALL GROSS DENSITY	= 9.27 UNITS/AC
PARKING PROVIDED SUMMARY	
NW APARTMENTS	
GARAGE	= 179 SPACES
SURFACE LOT	= 107 SPACES
NE CONDOMINIUM BUILDING	
GARAGE	= 286 SPACES
SURFACE LOT	= 1.61 SPACES PER UNIT
ROW HOUSES	
GARAGE	= 62 SPACES (2 GAR)
SURFACE LOT	= 16 SPACES
PUBLIC STREET PARALLEL	
CADY STREET	= 25 SPACES
CADY SURFACE LOT	= 18 SPACES
EX GRISWOLD STREET	= 14 SPACES
GRISWOLD EXTENSION	= 38 SPACES
BEAL STREET	= 56 SPACES
HUTTON STREET	= 47 SPACES
ROAD A	= 54 SPACES
FAIRBROOK STREET	= 44 SPACES
TOWNHOMES / SF ATTACHED / CARRIAGE	
GARAGES / DRIVES	= 510 SPACES (2 GAR / 2 DRIVE)
GARAGES ONLY	= 62 SPACES (2 GAR)
PARKING SPACES	= 37 SPACES
SINGLE FAMILY HOMES	
GARAGES / DRIVES	= 152 SPACES (2 GAR / 2 DRIVE)
PARKING SPACES	= 8 SPACES
TOTAL PARKING PROVIDED	
= 1,534 SPACES	
TOTAL PUBLIC PARKING PROVIDED	
= 341 SPACES	



★	FLAT ROOF 2 1/2 STORY TOWNHOMES
■	FLAT ROOF 3 STORY TOWNHOMES
●	2 STORY SINGLE FAMILY ATTACHED
—	HIGH VISIBILITY LOT WITH ENHANCED SIDE ELEVATION



LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	PAVEMENT (ASPHALT)
[Symbol]	[Symbol]	SIDE WALK (CONCRETE)
[Symbol]	[Symbol]	CONCRETE CURB AND GUTTER
[Symbol]	[Symbol]	STORM SEWER
[Symbol]	[Symbol]	SANITARY SEWER
[Symbol]	[Symbol]	WATER MAIN
[Symbol]	[Symbol]	MANHOLE
[Symbol]	[Symbol]	CATCH BASIN W/STREAM GUARD
[Symbol]	[Symbol]	CURB INLET W/SILT SAC
[Symbol]	[Symbol]	HYDRANT
[Symbol]	[Symbol]	END SECTION
[Symbol]	[Symbol]	GATE VALVE
[Symbol]	[Symbol]	HYDRANT
[Symbol]	[Symbol]	FLOOD PLAIN
[Symbol]	[Symbol]	CONTOURS
[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	SURFACE DRAINAGE
[Symbol]	[Symbol]	OVERFLOW ROUTE
[Symbol]	[Symbol]	TREE FENCE
[Symbol]	[Symbol]	SILT FENCE
[Symbol]	[Symbol]	PROPOSED DRIVEWAY LOCATION
[Symbol]	[Symbol]	LIMIT OF DISTURBANCE

THE DOWNS

SECTION 3, T1S, R8E, CITY OF NORTHVILLE WAYNE COUNTY, MICHIGAN

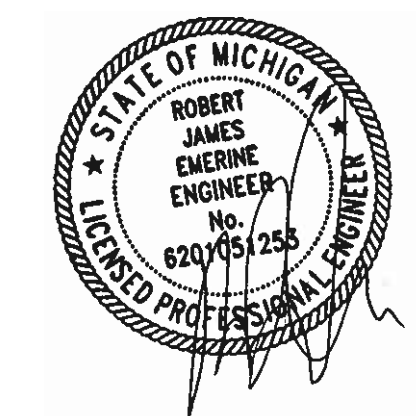
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NO.	ITEM	DATE	UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.
1.	REVISED PER CITY REVIEW	1-20-22	<p>Know what's below. Call before you dig.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.</p>
2.	REVISED PER CITY REVIEW	3-22-22	
3.	REVISED PER CITY REVIEW	5-10-22	
4.	REVISED PER CITY REVIEW	5-31-22	

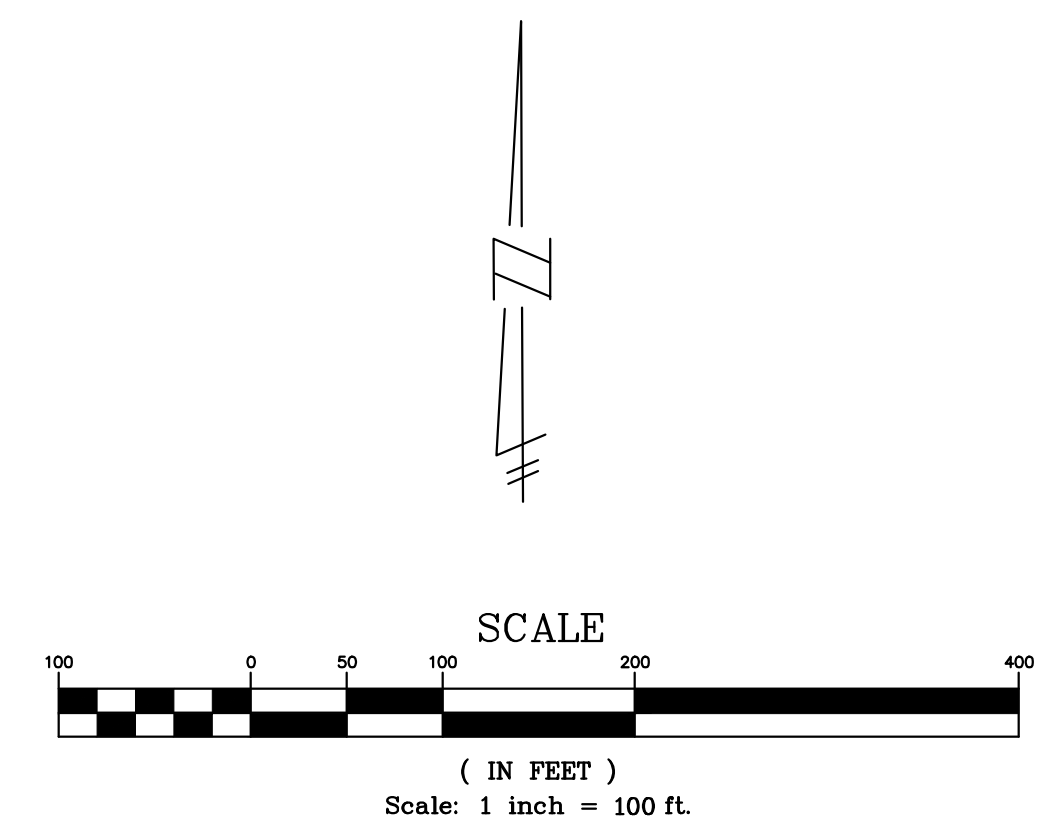
DATE: 12-05-21 DESIGNED BY: A.A. JOB NUMBER: 21-001
 CHECKED BY: R.B. DRAWING FILE: 7-21001-0A.DWG

OVERALL SITE PLAN

SEIBER KEAST LEHNER
 ENGINEERING | SURVEYING
 39205 COUNTRY CLUB DRIVE, SUITE C8
 FARMINGTON HILLS, MI 48331
 PHONE: 248.308.3331

SHEET
7





OPEN SPACE SUMMARY	
SITE AREA	48.12 ACRES
OPEN SPACE SHOWN	14.94 ACRES
OPEN SPACE PERCENTAGE	31.05%
OPEN SPACE EXCLUDING DETENTION	12.18 ACRES
OPEN SPACE PERCENTAGE	25.31%
OPEN SPACE AS SHOWN ON MASTER PLAN	9.31 ACRES (19.3%)

LEGEND	
	EXISTING
	PROPOSED
	PAVEMENT (ASPHALT)
	SIDE WALK (CONCRETE)
	CONCRETE CURB AND GUTTER
	STORM SEWER
	SANITARY SEWER
	WATER MAIN
	MANHOLE
	CATCH BASIN W/STREAM GUARD
	CURB INLET W/SILT SAC
	END SECTION
	GATE VALVE
	HYDRANT
	FLOOD PLAIN
	CONTOURS
	SPOT ELEVATION
	SURFACE DRAINAGE
	OVERFLOW ROUTE
	TREE FENCE
	SILT FENCE
	PROPOSED DRIVEWAY LOCATION
	LIMIT OF DISTURBANCE

THE DOWNS
SECTION 3, T1S, R8E, CITY OF NORTHVILLE
WAYNE COUNTY, MICHIGAN

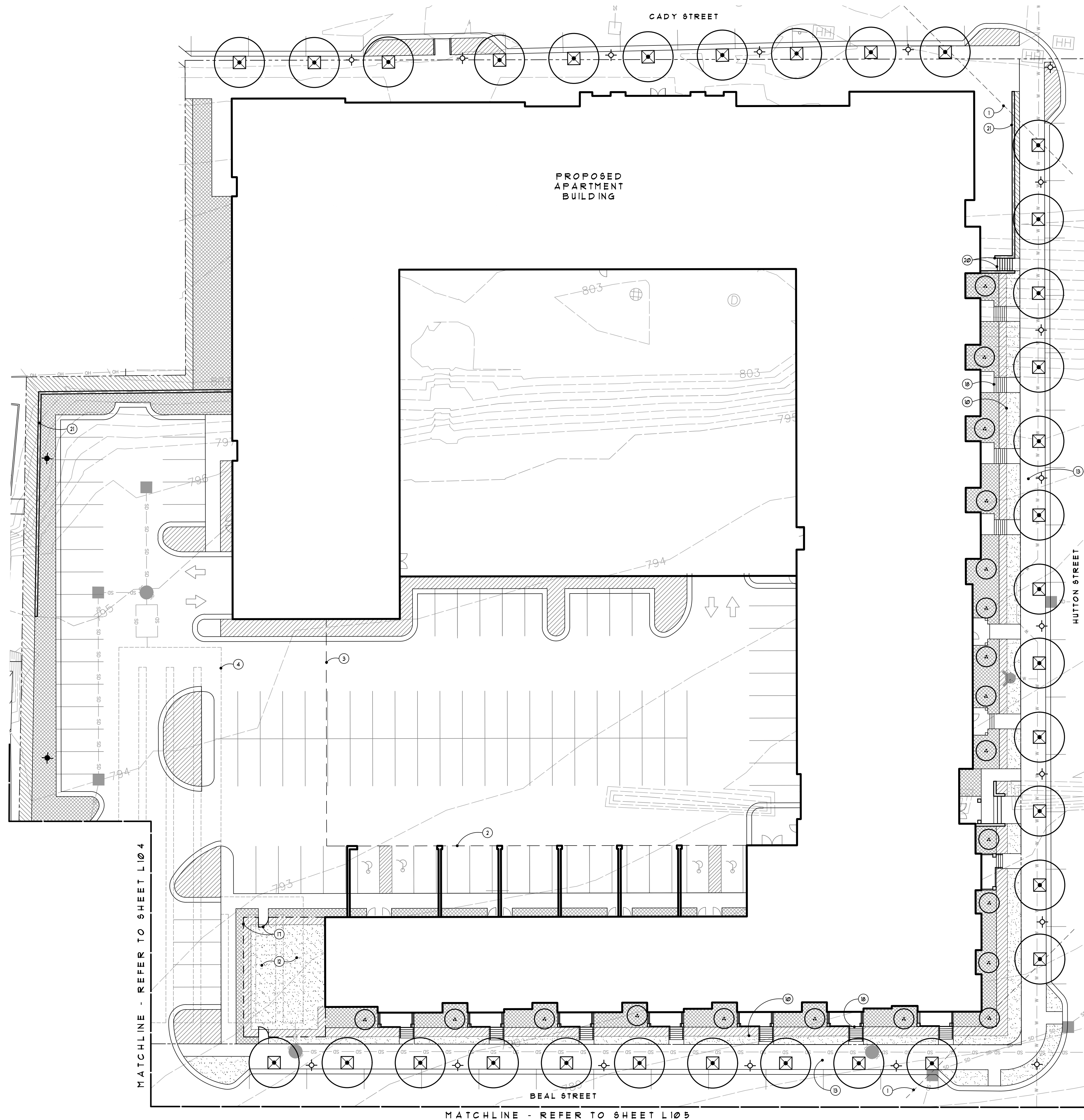
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1.	REVISED PER CITY REVIEW	5-31-22	

DATE: 12-05-21 DESIGNED BY: A.A. JOB NUMBER: 21-001
CHECKED BY: R.E. DRAWING FILE: 10-21001-08.DWG

OPEN SPACE PLAN

SEIBER KEAST LEHNER ENGINEERING SURVEYING 39205 COUNTRY CLUB DRIVE, SUITE C8 FARMINGTON HILLS, MI 48331 PHONE: 248.308.3331	SHEET 10
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12/15/2021 THE DOWNS SECTION 3, T1S, R8E, CITY OF NORTHVILLE, WAYNE COUNTY, MICHIGAN 10/21001-08.DWG 10/21001-08.DWG

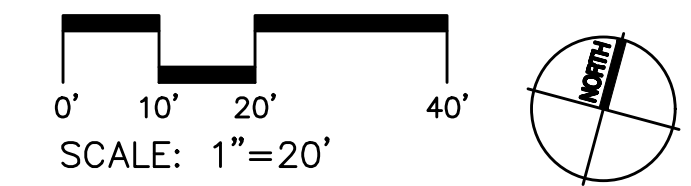


Legend: (APPLIES TO L101-L106, NOT ALL GRAPHICS APPLY TO EACH SHEET)

- PROPERTY LINE, TYP.
- - - EXISTING CONTOUR LINES, TYP.
- - - PROPOSED CONTOUR LINES, TYP.
- SS SS SS EXISTING UTILITY LINES, TYP.
- W W W W PROPOSED UTILITY LINES, TYP.
- ☼ EXISTING LIGHT POLE LOCATION TO REMAIN
- ⊙ EXISTING SIGN - REFER TO CIVIL PLANS
- PROPOSED DECIDUOUS STREET TREES AND OR PARKING LOT TREES IN LAWN. POSSIBLE PLANT PALETTE TO INCLUDE BUT NOT BE LIMITED TO - LOCUST, TULIP, LINDEN, ZELKOVA, MAPLE, ELM
- ⊙ PROPOSED COLUMNAR DECIDUOUS STREET TREES. POSSIBLE PLANT PALETTE TO INCLUDE BUT NOT BE LIMITED TO - ENGLISH OAK, BOWHALL, MAPLE, EUROPEAN HORNBEEAM, CHANTICLEER PEAR, ELM
- ⊙ PROPOSED DECIDUOUS STREET TREES IN TREE GRATES. POSSIBLE PLANT PALETTE TO INCLUDE BUT NOT BE LIMITED TO - LOCUST, TULIP, LINDEN, ZELKOVA, MAPLE, ELM
- ⊙ PROPOSED DECIDUOUS TREE ALONG ALLEY - REFER TO PROTOTYPICAL SINGLE FAMILY LANDSCAPE PLAN
- ⊕ PROPOSED DECIDUOUS SHADE TREES. POSSIBLE PLANT PALETTE TO INCLUDE BUT NOT BE LIMITED TO - OAK, MAPLE, LOCUST, BIRCH, TULIP, ELM
- ⊕ PROPOSED ORNAMENTAL TREES. POSSIBLE PLANT PALETTE TO INCLUDE BUT NOT BE LIMITED TO - CRABAPPLE, MAGNOLIA, SERVICEBERRY, JAPANESE TREE LILAC, DOGWOOD
- ⊕ PROPOSED POND TREES. POSSIBLE PLANT PALETTE TO INCLUDE BUT NOT BE LIMITED TO - BIRCH, DAUN REDWOOD, OAK, MAPLE, ALDER, POPLAR
- ⊕ PROPOSED EVERGREEN TREES. POSSIBLE PLANT PALETTE TO INCLUDE BUT NOT BE LIMITED TO - FIR, SPRUCE, PINE, HEMLOCK
- ▨ PROPOSED DECIDUOUS AND OR EVERGREEN SHRUBS. POSSIBLE PLANT PALETTE TO INCLUDE BUT NOT BE LIMITED TO - ARBORVITAE, HYDRANGEA, BOXWOOD, YUCCA, VIBURNUM LILAC, SPIREA, SHRUB ROSES, JUNPER
- ▨ PROPOSED PERENNIALS AND OR GROUNDCOVER. POSSIBLE PLANT PALETTE TO INCLUDE BUT NOT BE LIMITED TO - CATMINT, ROSES, GERANIUMS, DAYLILIES, ASTILES, RUSSIAN SAGE, SEDUM, HYDRILLA, PACHYSANDRA, RIBBON GRASS, LIRIOPE
- ▨ LAWN, TYP.
- ▨ EMERGENT WETLAND / MESIC SEED MIX, TYP. - TO BE FURTHER DESIGNED FOR FINAL SPA
- ▨ UPLAND / LOW PROFILE PRAIRIE SEED MIX, TYP. - TO BE FURTHER DESIGNED FOR FINAL SPA
- ⊕ NEW STREET LIGHTS TO MATCH THE CITY OF NORTHVILLE SECONDARY STREETS DESIGN STANDARDS
- ⊕ NEW ROADWAY / PARKING LOT LIGHTS TO MATCH ZONING ORDINANCE REQUIREMENTS

Note Key: (APPLIES TO L101-L106, NOT ALL NOTES APPLY TO EACH SHEET)

- ① 25' SIGHT VISION TRIANGLES, TYP.
- ② OUTLINE OF BUILDING ABOVE, TYP.
- ③ OUTLINE OF BUILDING BELOW, TYP.
- ④ UNDERGROUND DETENTION - REFER TO CIVIL
- ⑤ AMPHITHEATER SEATING / STEPS, TYP.
- ⑥ 20' WIDE PEDESTRIAN PROMENADE
- ⑦ JOHNSON DRAIN AND EXISTING WOODED AREA TO REMAIN UNDISTURBED, TYP.
- ⑧ 1 MILE ROAD GATEWAY TO BE DESIGNED AT A LATER DATE
- ⑨ RIVER PARK / RIVER OPENING TO BE DESIGNED AT A LATER DATE
- ⑩ BEDLINE, TYP.
- ⑪ LIMIT OF SEED MIX, TYP.
- ⑫ DOG PARK
- ⑬ SIDEWALK, TYP.
- ⑭ AERATOR FOUNTAIN
- ⑮ LIMIT OF UNIT LANDSCAPE
- ⑯ POCKET PARK TO BE DESIGNED AT A LATER DATE
- ⑰ DOG PARK FENCE AND GATES
- ⑱ STAIRS AND PORCHES - REFER TO ARCHITECTURAL
- ⑲ OPEN AIR AREA FOR PARKING DECK VENTILATION
- ⑳ STAIRS AND CHEEK WALLS
- ㉑ RETAINING WALL WITH GUARDRAIL
- ㉒ 50' RIGHT-OF-WAY EASEMENT LINES



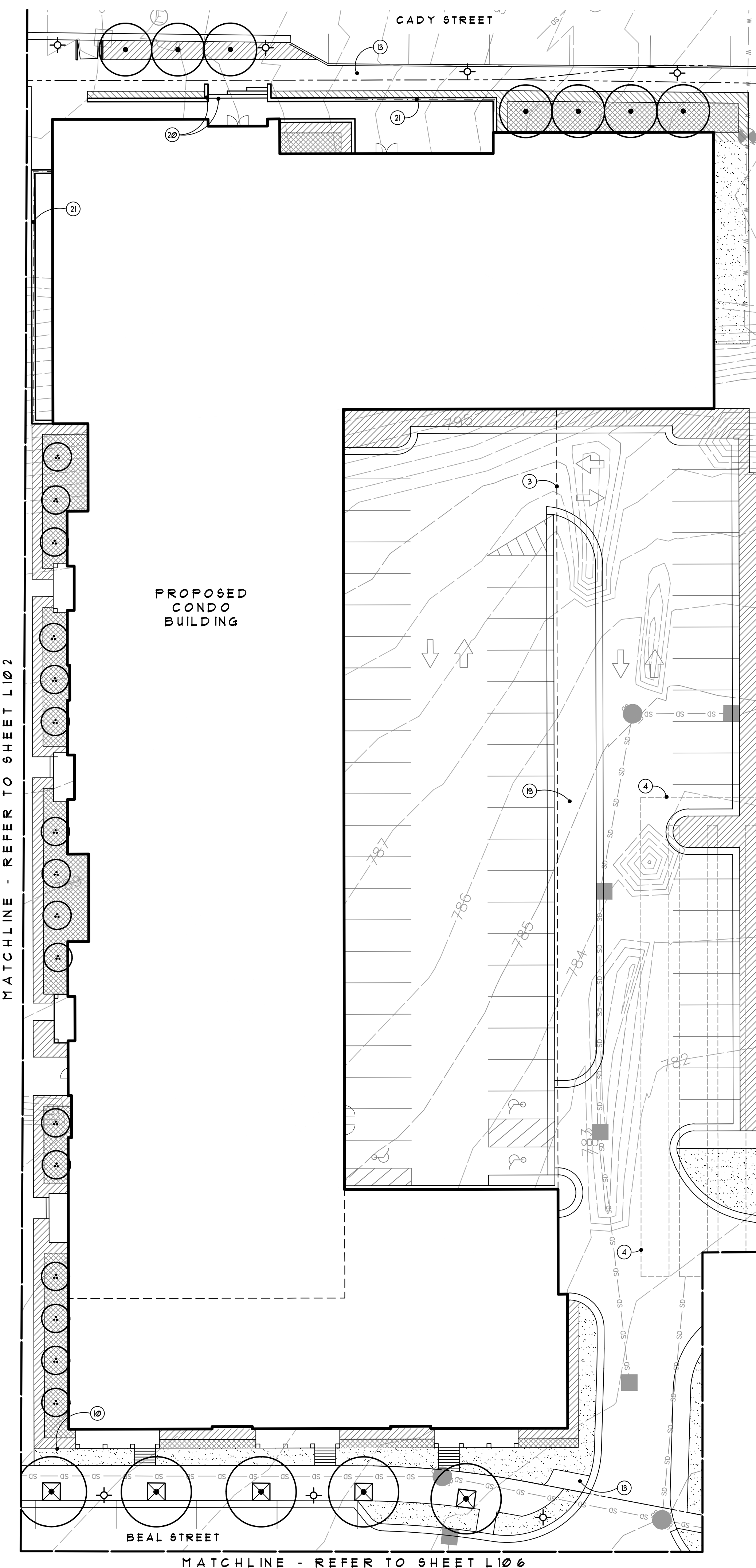
**GRISSIM
METZ ASSOCIATES
ANDRIESE**

Landscape Architecture
15000 Edwards N. Hines Dr., Suite A
Plymouth, MI 48170
Ph: 248-347-7010

Project: _____
The Downs
 Northville, MI _____
 Sheet: _____
Landscape Plan

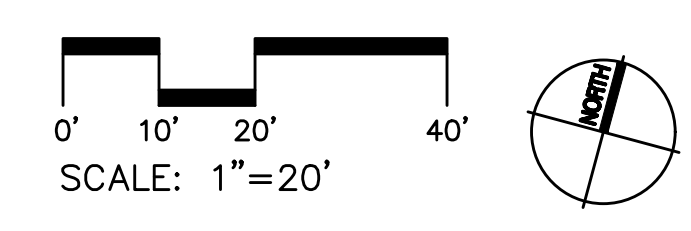
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 Drawn: GMA
 Checked: ATP
 Scale: As Shown

Date: _____ Issued for: _____
 12/14/2021 Preliminary Site Plan Approval
 01/20/2022 Revision for City Review
 05/31/2022 Revision for City Review



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 - W - - - PROPOSED UTILITY LINES, TYP.
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 - ⊕ EXISTING SIGN - REFER TO CIVIL PLANS
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 - 21 RETAINING WALL WITH GUARDRAIL
 - 22 50' RIGHT-OF-WAY EASEMENT LINES



**GRISSIM
METZ ASSOCIATES
ANDRIESE**

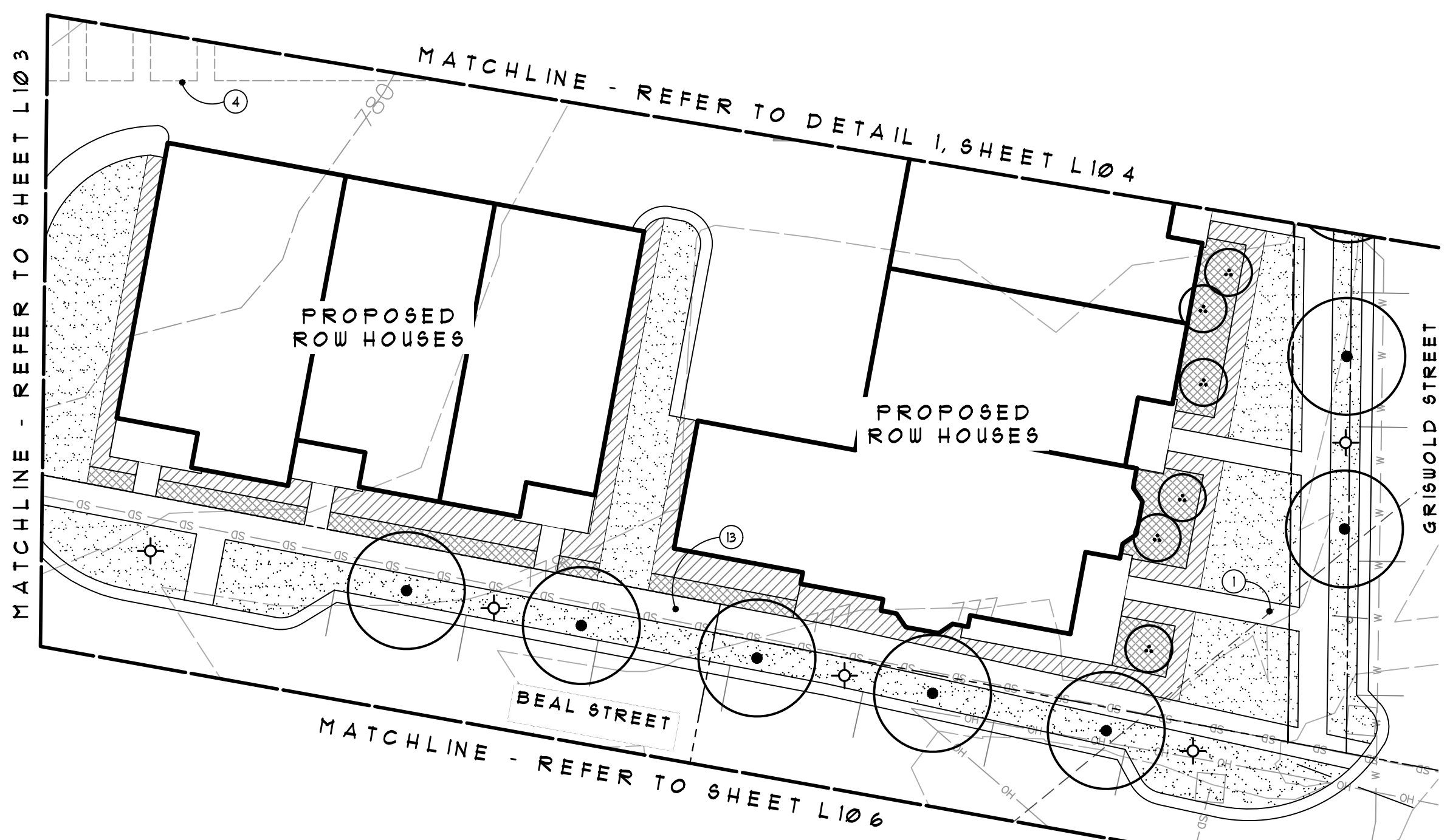
Landscape Architecture
 15000 Edwards N. Hines Dr., Suite A
 Plymouth, MI 48170
 Ph: 248-347-7010

Project:
The Downs
 Northville, MI

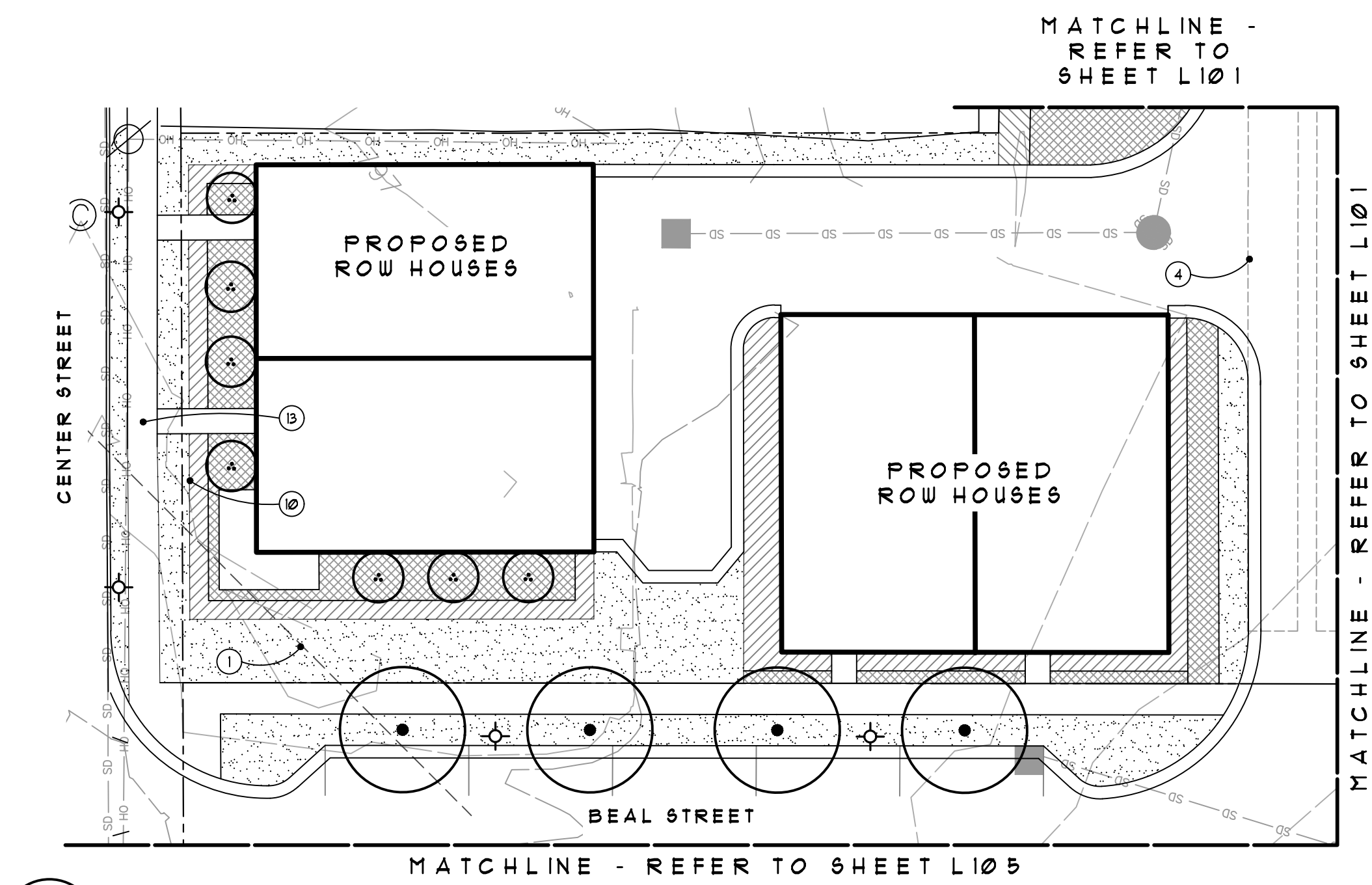
Sheet:
Landscape Plan

Job Number: **H70-201**
 Drawn: **GMA**
 Checked: **ATP**
 Scale: **As Shown**

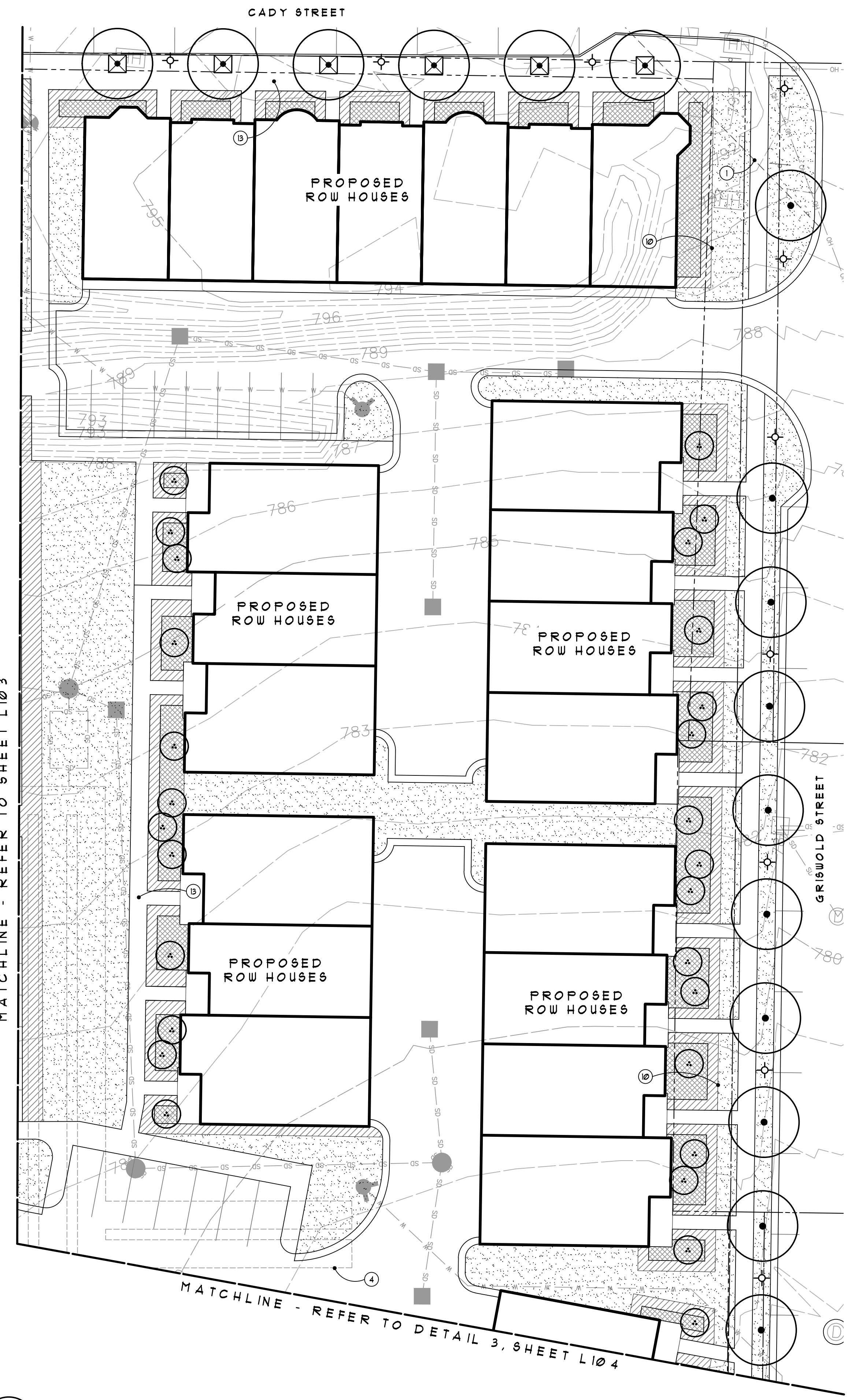
Date: Issued for:
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3 Landscape Plan
L104 SCALE: 1" = 20'-0"



2 Landscape Plan
L100 SCALE: 1" = 20'-0"



1 Landscape Plan
L100 SCALE: 1" = 20'-0"

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 - ⊕ PROPOSED POND TREES, POSSIBLE PLANT PALETTE TO INCLUDE BUT NOT BE LIMITED TO - BIRCH, DAUN REDWOOD, OAK, MAPLE, ALDER, POPLAR
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 - ▨ LAWN, TYP.
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 - 10 BEDLINE, TYP.
 - 11 LIMIT OF SEED MIX, TYP.
 - 12 DOG PARK
 - 13 SIDEWALK, TYP.
 - 14 AERATOR FOUNTAIN
 - 15 LIMIT OF UNIT LANDSCAPE
 - 16 POCKET PARK TO BE DESIGNED AT A LATER DATE
 - 17 DOG PARK FENCE AND GATES
 - 18 STAIRS AND PORCHES - REFER TO ARCHITECTURAL
 - 19 OPEN AIR AREA FOR PARKING DECK VENTILATION
 - 20 STAIRS AND CHEEK WALLS
 - 21 RETAINING WALL WITH GUARDRAIL
 - 22 50' RIGHT-OF-WAY EASEMENT LINES

**GRISSIM
METZ ASSOCIATES
ANDRIESE**

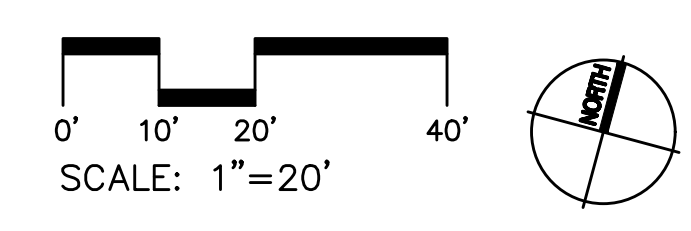
Landscape Architecture
15000 Edwards N. Hines Dr., Suite A
Plymouth, MI 48170
Ph: 248-347-7010

Project:
The Downs
Northville, MI

Sheet:
Landscape Plan

Job Number: H70-201
Drawn: GMA
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MATCHLINE - REFER TO SHEET L101 AND L104



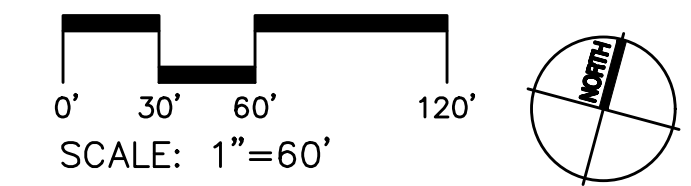
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- ⑳ STAIRS AND CHEEK WALLS
- ㉑ RETAINING WALL WITH GUARDRAIL
- ㉒ 50' RIGHT-OF-WAY EASEMENT LINES

Note:
SHEETS L101, L105, L103 FOR THE PROTOTYPICAL LANDSCAPE PLANS ARE UNCHANGED FROM THE PREVIOUS SUBMITTAL DRAWINGS.



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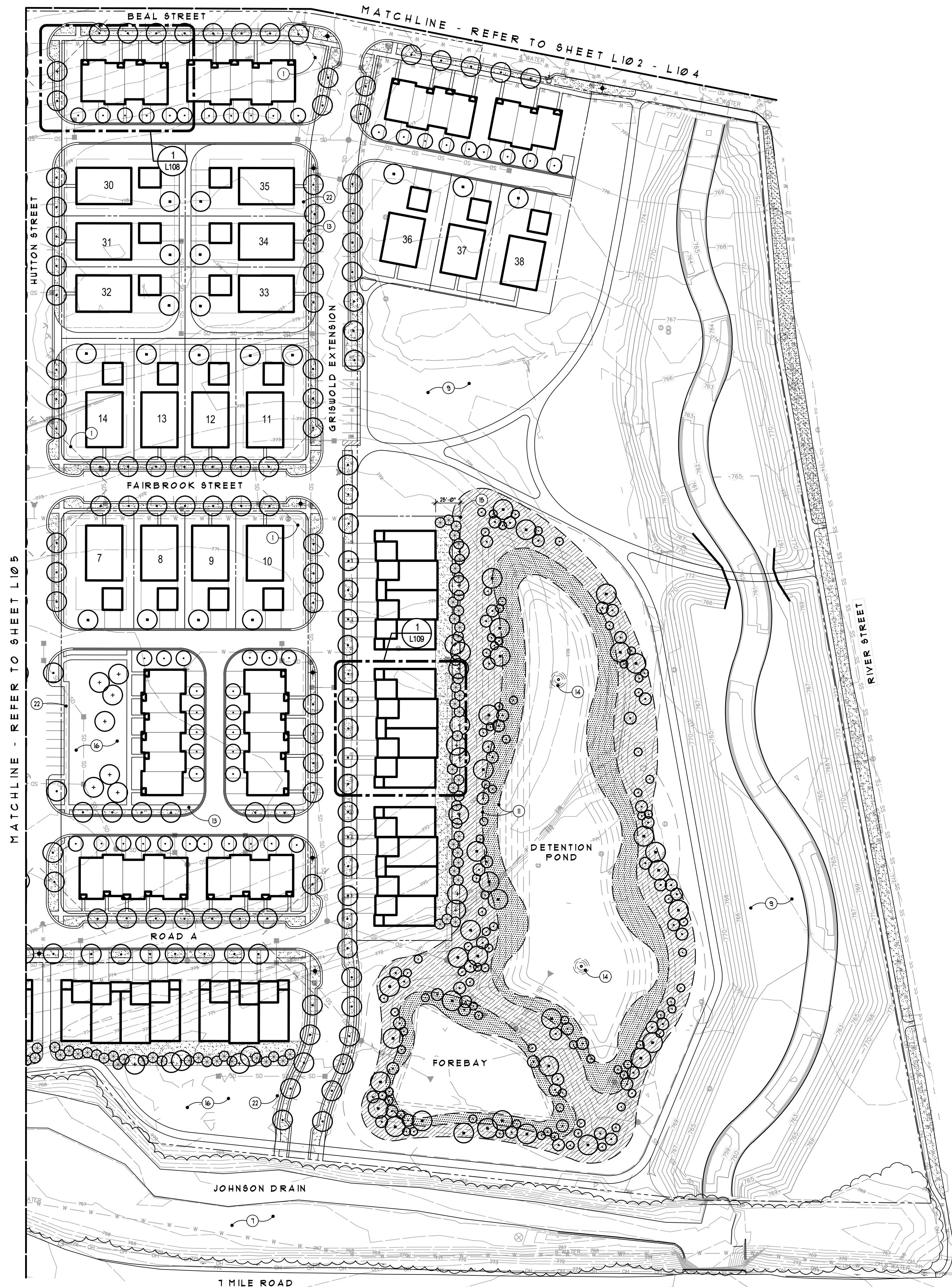
Project:
The Downs
Northville, MI

Sheet:
Landscape Plan

Job Number: **H70-201**
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Sheet Number:
L105
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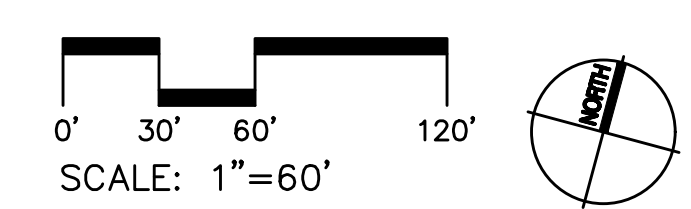
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THE DOWNS ARCHITECTURE

May 31, 2022

The Downs



THE FORBES COMPANY



Ownership



THE FORBES COMPANY



Architecture & Engineering



Landscape



Civil Engineering



ARCHITECTURE MATRIX

- **Northwest Site Apartments**

Page(s) : 4 - 7
Street(s) : Cady, Hutton, Beal
Number Of Units : 178

- **Northeast Site Condominiums**

Page(s) : 8 - 11
Street(s) : Cady, Beal, Hutton (Park)
Number of Units : 42

- **Cady: Rowhouses**

Page(s) : 12
Street(s) : Cady, Griswold (Corner)
Number of Buildings : 1
Number of Units : 7
Unit Sizes : 2,280 SQ. FT + 280 SQ. FT Flex Space

- **Griswold: Townhomes**

Page(s) : 13 - 14
Street(s) : Griswold
Number of Buildings : 2
Number of Units : 8
Unit Sizes : 2,023 - 2,800 SQ. FT
Number of Ground Floor Primary Bedrooms : 4

- **Griswold: Single Family Attached**

Page(s) : 15 - 16
Street(s) : Griswold, Beal (Corner)
Number of Buildings : 1
Number of Units : 3
Unit Sizes : 1,939 - 2,755 SQ. FT
Number of Ground Floor Primary Bedrooms : 1

- **Beal: Single Family Attached 1**

Page(s) : 17
Street(s) : Beal (Near Griswold)
Number of Buildings : 3
Number of Units : 9
Unit Sizes : 1,939 - 2,647 SQ. FT
Number of Groud Floor Primary Bedrooms : 6

- **Beal: Single Family Attached 2**

Page(s) : 18
Street(s) : Beal (Near Griswold)
Number of Buildings : 1
Number of Units : 2
Unit Sizes : 1,939 - 2,647 SQ. FT
Number of Ground Floor Primary Bedrooms : 1

- **Center: Single Family Attached 3**

Page(s) : 19
Street(s) : Center (Near Beal)
Number of Buildings : 1
Number of Units : 2
Unit Sizes : 1,939 - 2,647 SQ. FT
Number of Ground Floor Primary Bedrooms : 1

- **2.5 Story Townhouse**

Page(s) : 20
Street(s) : Beal, Center
Number of Buildings : 10
Number of Units : 43
Unit Sizes : 1,900 - 2,000 SQ. FT

- **Carriage House**

Page(s) : 21
Street(s) : Griswold (South), Road 'A'
Number of Buildings : 8
Number of Units : 28
Unit Sizes : 2,000 - 2,200 SQ. FT
Number of Ground Floor Primary Bedrooms : 28

- **Single Family Detached**

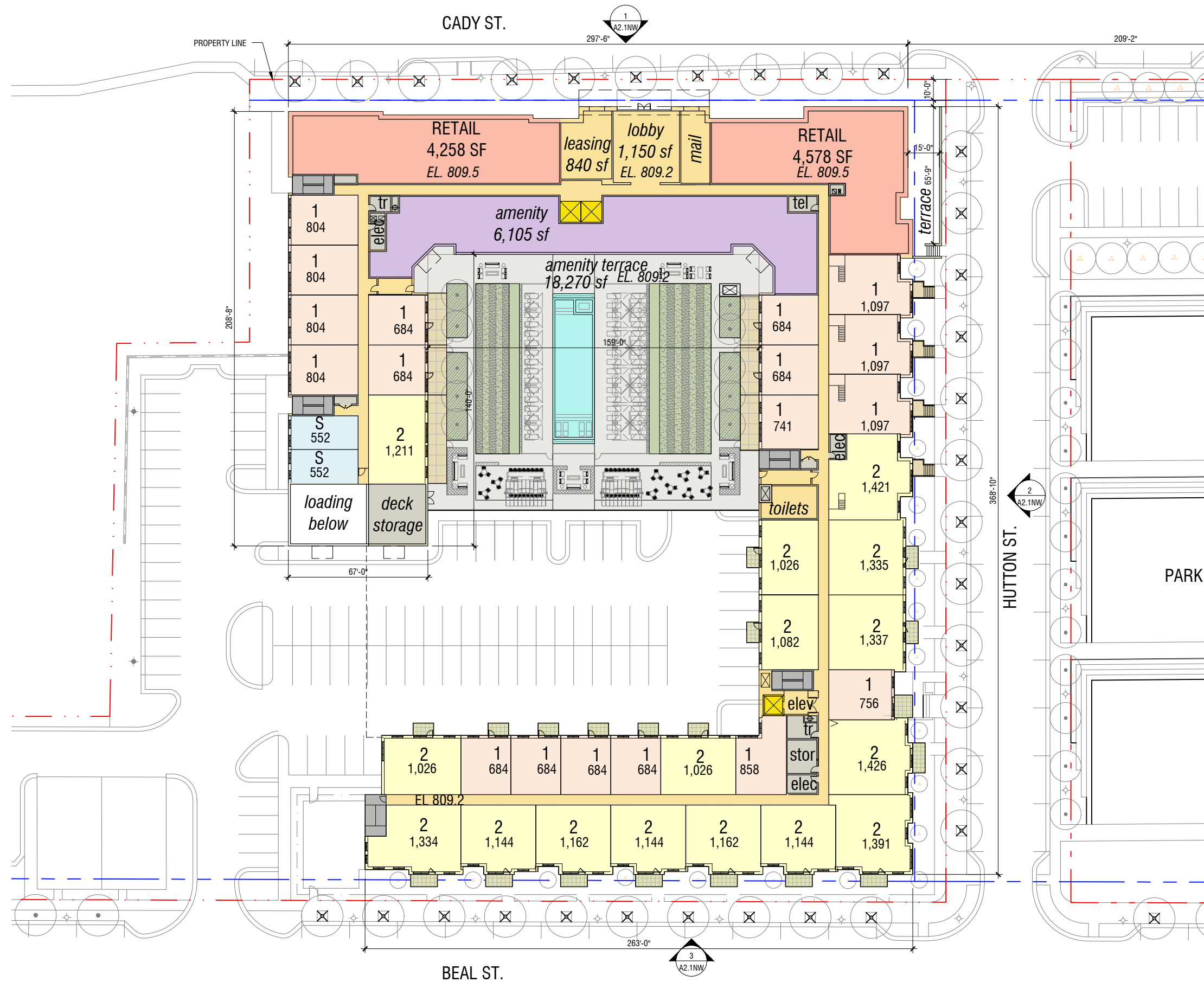
Page(s) : 22 - 26
Street(s) : Griswold, Hutton, Road 'A'. Pairbrook
Number of Houses : 38
House Sizes : 2,200 - 3,200 SQ. FT

- **3 Story Townhouse**

Page(s) : 27
Street(s) : Griswold, Hutton, Road 'A'
Number of Buildings : 10
Number of Units : 42
Unit Sizes : 2,300 - 2,400 SQ. FT

- **Single Family Attached 4**

Page(s) : 28
Street(s) : Center, Private Drives
Number of Buildings : 10
Number of Units : 28
Unit Sizes : 1,800 - 2,655 SQ. FT
Number of Ground Floor Primary Bedrooms : 16



Northwest Site Apartment - Ground Level Floor Plan



ENLARGED DETAIL NW-E3



ENLARGED DETAIL NW-E2



ENLARGED DETAIL NW-E1



OVERALL HUTTON STREET ELEVATION



ENLARGED DETAIL NW-N3



ENLARGED DETAIL NW-N2



ENLARGED DETAIL NW-N1



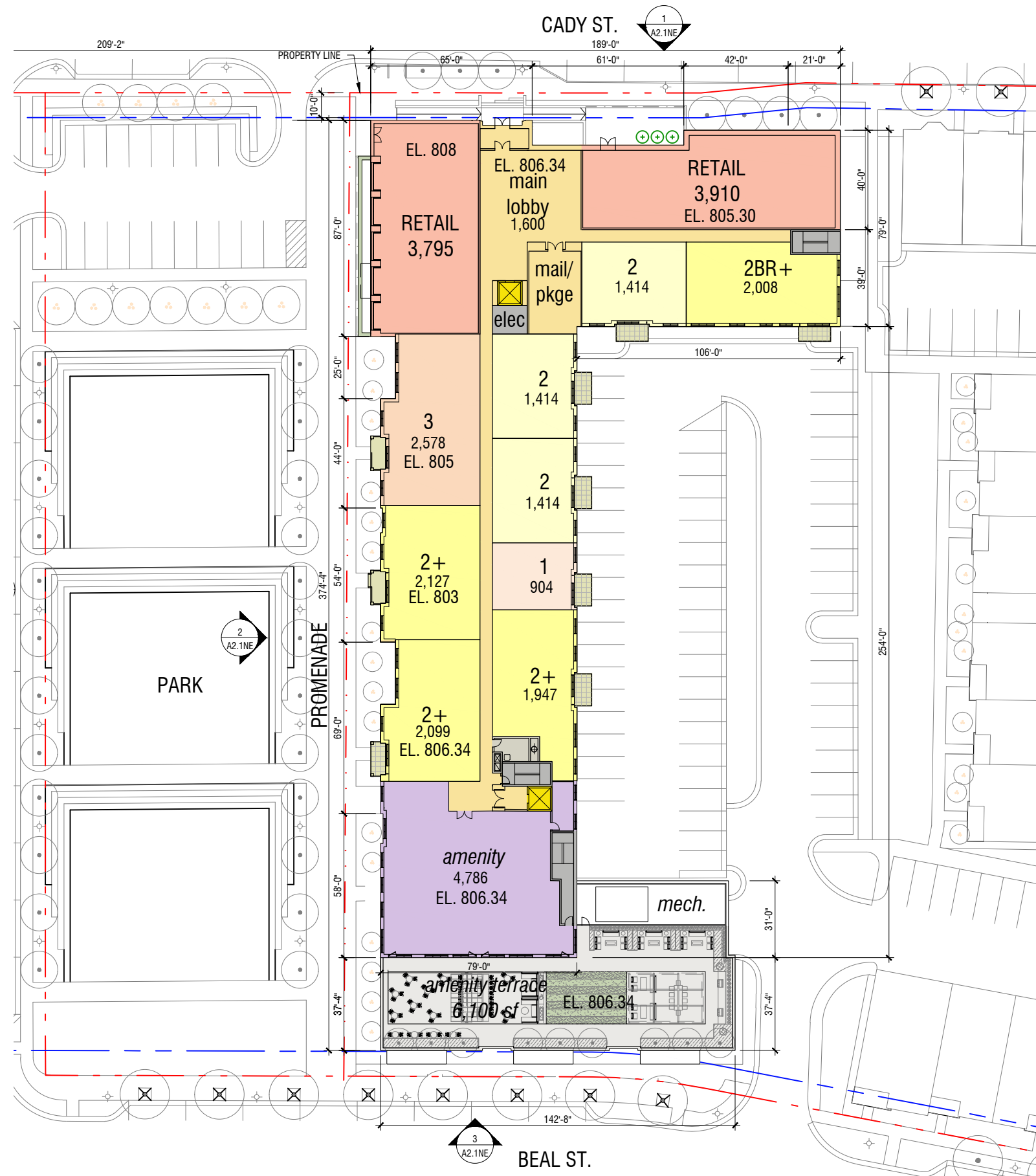
OVERALL CADY STREET ELEVATION



ENLARGED DETAIL NW-S1



OVERALL BEAL STREET ELEVATION





ENLARGED DETAIL NE-W3



ENLARGED DETAIL NE-W2



ENLARGED DETAIL NE-W1



OVERALL PROMENADE ELEVATION



ENLARGED DETAIL NE-N2



ENLARGED DETAIL NE-N1

NE-N2

NE-N1



OVERALL CADY STREET ELEVATION



ENLARGED DETAIL NE-S1



OVERALL BEAL STREET ELEVATION



Cady Street : Rowhouses

NUMBER OF BUILDINGS : 1

NUMBER OF UNITS : 7

SQUARE FOOTAGE : 2,023 - 2,800

SQUARE FOOTAGE : 2,280
+ 280 FLEX SPACE



Griswold Street : Townhouse 1

NUMBER OF BUILDINGS : 2

NUMBER OF UNITS : 8

SQUARE FOOTAGE : 2,023 - 2,800

NUMBER OF GROUND FLOOR

PRIMARY BEDROOMS : 4



Griswold Street: Townhouse 2

NUMBER OF BUILDINGS : 2

NUMBER OF UNITS : 8

SQUARE FOOTAGE : 2,023 - 2,800

NUMBER OF GROUND FLOOR
PRIMARY BEDROOMS : 4



Griswold / Beal Street : Single Family Attached

NUMBER OF BUILDINGS : 1

NUMBER OF UNITS : 3

SQUARE FOOTAGE : 1,939 - 2,755

NUMBER OF GROUND FLOOR
PRIMARY BEDROOMS : 1



Griswold / Beal Street : Single Family Attached

NUMBER OF BUILDINGS : 1

NUMBER OF UNITS : 3

SQUARE FOOTAGE : 1,939 - 2,755

NUMBER OF GROUND FLOOR

PRIMARY BEDROOMS : 1

Beal Street : Single Family Attached 1

NUMBER OF BUILDINGS : 3

NUMBER OF UNITS : 9

SQUARE FOOTAGE : 1,939 - 2,647

NUMBER OF GROUND FLOOR
PRIMARY BEDROOMS : 6





Beal Street : Single Family Attached 2

NUMBER OF BUILDINGS : 1

NUMBER OF UNITS : 2

SQUARE FOOTAGE : 1,939 - 2,647

NUMBER OF GROUND FLOOR

PRIMARY BEDROOMS : 1

Center Street : Single Family Attached 3

NUMBER OF BUILDINGS : 1

NUMBER OF UNITS : 2

SQUARE FOOTAGE : 1,939 - 2,647

NUMBER OF GROUND FLOOR

PRIMARY BEDROOMS : 1



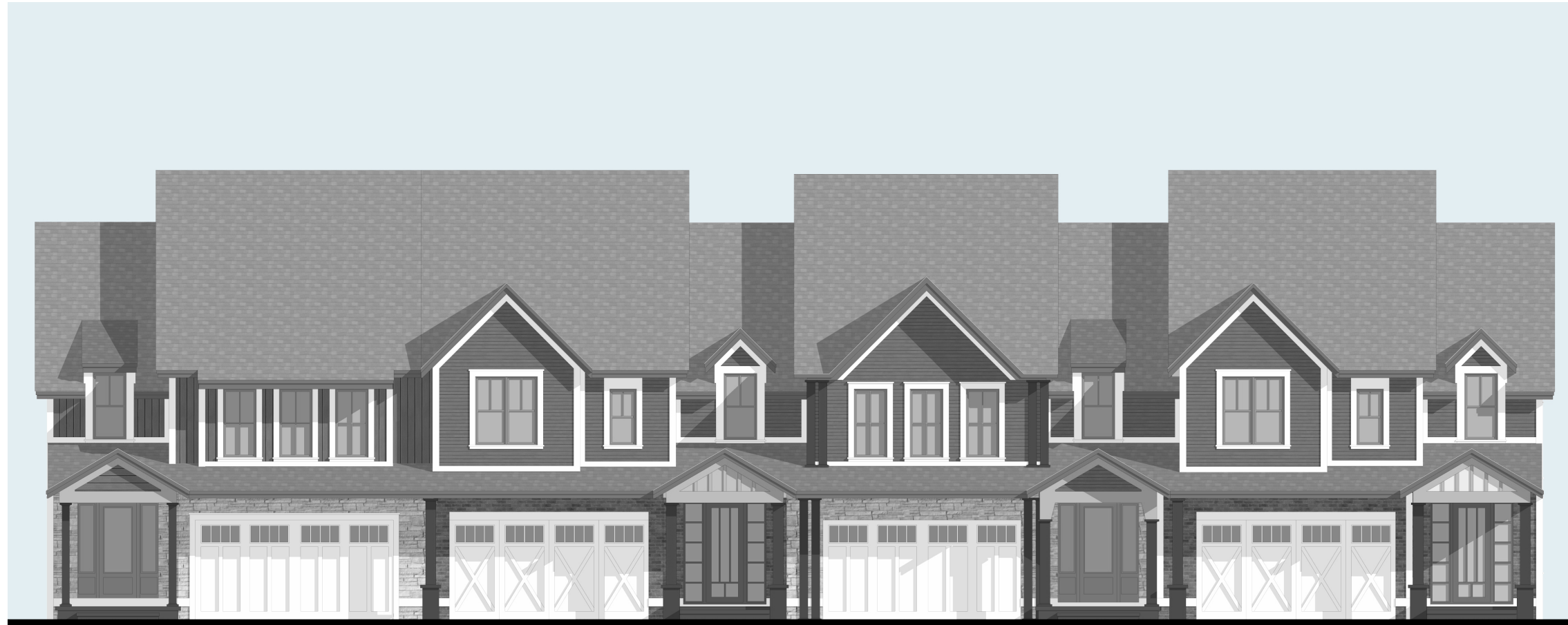
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Carriage House

NUMBER OF BUILDINGS : 8

NUMBER OF UNITS : 28

SQUARE FOOTAGE : 2,000 - 2,200

NUMBER OF GROUND FLOOR

PRIMARY BEDROOMS : 28



Single Family Detached Design 1

SQUARE FOOTAGE : 2,200- 3,200

Single Family Detached Design 2

SQUARE FOOTAGE : 2,200- 3,200



Single Family Detached Design 3

SQUARE FOOTAGE : 2,200- 3,200



Single Family Detached Design 4

SQUARE FOOTAGE : 2,200- 3,200



Single Family Detached Design 5

SQUARE FOOTAGE : 2,200- 3,200





3 Story Townhouse

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Single Family Attached

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